

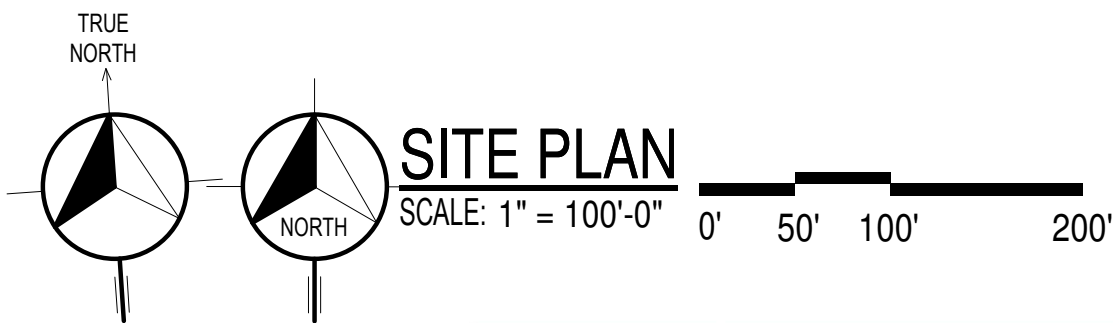
Legend of Symbols and Abbreviations

- | | | |
|-------------------------|----------------------|----------------------------|
| Power Pole | Traffic Signal Box | Sanitary Manhole |
| Light Pole | Signal Light Pole | Clean Out |
| Guy Wire | Signal Light | Gas Manhole |
| Power Pole w/ Light | Vault | Gas Valve |
| Utility Pole | Sign (as Noted) | Gas Meter |
| Ground Light | Tower | Gas Line Marker |
| Electric Manhole | Monitoring Well | Handicapped Parking |
| Electric Meter | Flag Pole | Indicates Mutual Ownership |
| Electric Vault | Satellite Dish | Mailbox |
| Transformer | Water Valve | Bollard |
| Air Conditioner Unit | Fire Hydrant | Storm Drain Manhole |
| Telephone Manhole | Siamese Fire Hydrant | Storm Drain Inlet Square |
| Telephone Pedestal | Water Manhole | Storm Drain Inlet Round |
| Cable Box | Backflow Preventer | Storm Pipe |
| Sight Light | Water Meter | Curb Storm Inlet |
| Set Iron Pin | Water Vault | Grease Trap |
| Found Iron Pin | Sprinkler Head | Right-of-Way |
| Found Concrete Monument | Found PK Nail | Centerline |
| Cable Line Marker | Found Railroad Spike | |
| | Found "X" Cut | |

SCALE : 1" = 50'

NV5 ALTA/NSPS LAND TITLE SURVEY
PREPARED FOR
Cooks Crossings Apartments
DATE OF FIELD SURVEY: October 19, 2018
NETWORK PROJECT NUMBER: 201804377-001
1-(800)-SURVEYS (787-8397)
TRANSACTION SERVICES
www.bockandclark.com maywehelpyou@bockandclark.com www.NV5.com

SURVEY • ZONING • ENVIRONMENTAL • ASSESSMENT



PARCEL NUMBER	OWNER	MAILING ADDRESS	ZONING
184019A018.	DICKTEN MICHAEL E	3171 S R 133	R-2
1862020043G	BERGLUND MARTHA	2 COUNTRYSIDE LN	R-3
1862020079.	BERGLUND MARTHA	2 COUNTRYSIDE LN	R-3
187101M001.	VILLAGE OF WOODCREEK	PO BOX 36305	R-PUD
186202L126.	WEHRMAN KATIE L	8249 CLARA AVE	R-3
184019.008.	BARNHART HOLDINGS LLC	9361 MONTGOMERY RD STE D	R-2
184019.014.	HARRIS RONALD L	9528 HIGHLAND AVE	R-2
18620200CA2	COOKS GRANT UNIT OWNERS	11300 CORNELL PARK DR	R-3
182516B048.	WOODBRIDGE HOMEOWNERS	11340 MONTGOMERY ROAD	R-PUD
186202Q143.	LOVICH TIMOTHY R & BRENDA S	6315 TRAILWOOD COURT	R-3
181427A001C	DAVIS ROBERT JAMES	5891 EASTERN AVE	R-2
181427A001D	DAVIS ROBERT JAMES	5891 EASTERN AVE	R-2
181427A001J	BIRKLE MARK & SUSAN	5896 ELM STREET	R-2
181427A001K	THOMPSON TONIA LYNN	5897 EASTERN AVE	R-2
181427A001L	BIRKLE MARK & SUSAN	5896 ELM AVENUE	R-2
181427A003A	YEAGER HARRY D & SUSAN J	1010 NEWBERRY AVE	R-2
181427A026P	ROLL MICHAEL Z & LAUREN	980 NEWBERRY AVE	R-2
181427A038P	JUDD WILLIAM A & MARY ANN	976 NEWBERRY STREET	R-2
181427A055P	MIAMI TOWNSHIP TRUSTEES	5900 MCPICKEN DR	R-2
181427A056P	MIAMI TOWNSHIP TRUSTEES	6101 MEIJER DRIVE	R-2
181427A063P	HUNTLEY DONNA M	988 NEWBERRY AVE	R-2
181427A064P	ROLL MICHAEL Z & LAUREN	980 NEWBERRY AVE	R-2
181427A065P	ROLL MICHAEL Z & LAUREN	980 NEWBERRY AVE	R-2
181427A066P	ROLL MICHAEL Z & LAUREN	980 NEWBERRY AV	R-2
182516C026	CASTRUCCI MICHAEL A	968 NEWBERRY AV	R-2
182516C028.	CASTRUCCI MICHAEL A	1020 ST RT 28	B-2
182516C186.	WILSON RONALD & GLYNDA	5908 COOK RD	R-2
182516C187.	WEBEL DANIEL	5912 COOK ROAD	R-2
182516C189.	LLOYD DAVID	5926 COOK RD	R-2
182516C191.	WEBEL DANIEL	5912 COOK ROAD	R-2
182516C193.	CASTRUCCI MILDRED FAYE TR	1020 ST RT 28	B-2
182516C198.	CS COOKS CROSSING LLC	1030 COOKS CROSSING RD	R-PUD
182516C199.	KING DONNA M	968 NEWBERRY ST	R-2
184019.003.	BOOTS JASON R & EMILY J	946 KLOMDEY RD	B-1
184019.004	AKERS NANCY M	5895 MCPICKEN DR	R-2
184019.005	HARDIN KENNETH L & SANDRA M R	5899 MCPICKEN DR	R-2
184019.006	CEDAR FAMILY LIMITED PARTNERSHIP	1193 STATE ROUTE 131	R-2
184019.007	LAWRENCE PHYLIS ANN	5905 MCPICKEN DR	R-2

PARCEL NUMBER	OWNER	MAILING ADDRESS	ZONING
184019.008	BARNHART HOLDINGS LLC	5909 MCPICKEN DR	R-2
184019.010.	LONSBERRY CHRISTOPHER	5913 MCPICKEN DR	R-2
184019.012.	BROOKS CARLA & ROBERT	5917 MCPICKEN DR	R-2
184019A014.	HARRIS RONALD L	5919 MCPICKEN DR	R-2
184019A016.	GREGORY PHYLIS C	5921 MC PICKEN DR	R-2
184019A018.	DICKTEN MICHAEL E	5923 MCPICKEN E	R-2
184019B036.	FOX WILLIAM P & SUSAN E	5925 MCPICKEN DR	R-2
185801F005.	SCALF STEPHEN DOUGLAS & KINDRA A	935 SAFFRON LN	R-PUD
185801F006.	KREKE JANICE I	933 SAFFRON LN	R-PUD
185801F007.	ROSENBERGER MARY P	931 SAFFRON	R-PUD
185801F008.	BLASIAK THEODORE & MARIA	929 SAFFRON LANE	R-PUD
185801F009.	RUBENSTEIN LOUIS & CHRISTINE	930 SAFFRON LANE	R-PUD
1862021113.	NEWEDGE APRIL & RYAN	5754 ASHBY CT UNIT 113	R-3
1862021114.	COLUCH PAMELA L	5756 ASHBY CT	R-3
1862021115.	KOLSTO JUDITH L	5758 ASHBY CT	R-3
1862021116.	NICKUM AUGUSTINE A	5760 ASHBY CT	R-3
1862021117.	SCHNELL TYLAR B	5762 ASHBY CT #17	R-3
1862021118.	WRIGHT JULIE & CAREY	5764 ASHBY CT	R-3
1862021029G	BROUGHTON CHARLES W TRUSTEE	5766 ASHBY CT UNIT 119	R-3
1862021120.	PARKER ANGELA R &	5768 ASHBY CT	R-3
186202121.	WEATHERSPOON MELISSA	5770 ASHBY CT	R-3
186202122.	JACOB ALEX	5772 ASHBY CT	R-3
1862021223.	LOWE BONNIE J	5774 ASHBY COURT	R-3
1862021224.	BOGAN NICHOLAS A	5776 ASHBY COURT	R-3
1862021029G	STULTZ THOMAS E & LOIS E	2108 COOKS GRANT DR #59	R-3
1862021030G	RADAR LINDA	2110 COOKS GRANT DRIVE UNIT 60	R-3
1862021059.	STULTZ THOMAS E & LOIS E	2108 COOKS GRANT #59	R-3
1862021060.	RADAR LINDA	2110 COOKS GRANT DRIVE UNIT 60	R-3
1862021225.	RITCHIE CAROL ANN	5877 HANLEY CIRCLE	R-3
1862021227.	LEHMAN CHRISTIAN J	5881 HANLEY CLOSE	R-3
1862021228.	HAGGARD PEGGY	5883 HANLEY CLOSE	R-3
1862021229.	ALSABRAGH AMAL	5885 HANLEY CLOSE	R-3
1862021230.	KELLER TERESA J & DANIEL T	5887 HANLEY CLOSE	R-3
1862021233.	MINK BENTLEY	5893 HANLEY CLOSE UNIT 13	R-3
1862021234.	WEAVER ANDREA &	5895 HANLEY CLOSE #134	R-3
186202M035G	ROBBINS SHELLEY	5618 BROOKS HOLDING	R-3
186202M036G	TANNER KATHLEEN	5616 BROOKS HOLDING	R-3
186202M037G	WADDELL STEVEN	5618 BROOKS HOLDING UNIT 71	R-3
186202M038G	JOHNSON RONALD L	5608 BROOKS HOLDING UNIT 72	R-3

PARCEL NUMBER	OWNER	MAILING ADDRESS	ZONING
186202M067.	ROBBINS SHELLEY K	5618 BROOKS HOLDING	R-3
186202M068.	TANNER KATHLEEN	5616 BROOKS HOLDING	R-3
186202M069.	BROWN KELLY & GARY J	5614 BROOKS HOLDING	R-3
186202M070.	MYERS WILLIAM G	5612 BROOKS HOLDING	R-3
186202M071.	WADDELL STEVEN	5610 BROOKS HOLDING UNIT 71	R-3
186202M072.	JOHNSON RONALD L	5608 BROOKS HOLDING UNIT 72	R-3
186202N039G	CHASTAIN BRIAN	5606 BROOKS HOLDING	R-3
186202N040G	BOLIN JERRI	5604 BROOKS HOLDING UNIT 74	R-3
186202N041G	UEHLEIN ADAM T & KARI	5603 BROOKS HOLDING	R-3
186202N042G	DEWEESE AMY	5605 BROOKS HOLDING	R-3
186202N073.	BOLIN JERRI	5604 BROOKS HOLDING UNIT 74	R-3
186202N076.	NEAL JOANNA	5601 BROOKS HOLDING	R-3
186202N077.	UEHLEIN ADAM T & KARI	5603 BROOKS HOLDING	R-3
186202N078.	DEWEESE AMY	5605 BROOKS HOLDING	R-3
186202N044G	HUNT CHARLES D	5609 BROOKS HOLDING	R-3
186202N045G	HAHNLE MICHAEL J	5615 BROOKS HOLDING	R-3
186202N046G	HILL CAROL A	5617 BROOKS HOLDING	R-3
186202N080.	HUNT CHARLES D	5609 BROOKS HOLDING	R-3
186202N081.	STRICKLAND TAMLI J	5611 BROOKS HOLDING DR	R-3
186202N082.	TREYBIG KEVIN	5613 BROOKS HOLDING	R-3
186202N083.	HAHNLE MICHAEL J	5615 BROOKS HOLDING	R-3
186202N084.	HILL CAROL A	5617 BROOKS HOLDING	R-3
186202Q137.	KING DUSTY	5753 HANLEY CLOSE UNIT 137	R-3
186202Q138.	PLANK JAMES F & ROSALEE	5755 HANLEY CLOSE UNIT 138	R-3
186202Q139.	GLENN EMILEY M	5757 HANLEY CLOSE	R-3
186202Q140.	SOELLNER SHIRLEY	5759 HANLEY CLOSE	R-3
186202Q141.	MURPHY RUBY M	5761 HANLEY CLOSE UNIT 141	R-3
186202Q142.	DYER JESSICA R	5763 HANLEY CLOSE	R-3
186202Q144.	WOLFFRUM TIM K	5767 HANLEY CLOSE	R-3
186202Q145.	HAZARD WENDY	5769 HANLEY CLOSE	R-3
186202Q146.	DAY CURTIS J	5771 HANLEY CLOSE	R-3
186202Q147.	DUBSKY KRISTEN	5773 HANLEY CLOSE	R-3
186202Q148.	TURNER CAROL A	5775 HANLEY CLOSE RD #148	R-3
186202R059G	HALL KATHY L	5636 BAINES HOLDING UNIT 151	R-3
186202R060G	GATCH WILLIAM P	5634 BAINES HOLDING	R-3
186202R061G	CANTERBURY DAVID M & CAROL J	5633 BAINES HOLDING	R-3
186202R062G	HUFFMAN JOHN C	5635 BAINES HOLDING	R-3
186202R063G	IMBUS ENTERPRISES LTD PARTNERSHIP	5901 MONTCLAIR BLVD STE B	R-3
186202R064G	BROWN TIMOTHY R	5639 BAINES HOLDING #158	R-3

PARCEL NUMBER	OWNER	MAILING ADDRESS	ZONING
186202R065G	JONES GERRI	5645 BAINES HOLDING #161	R-3
186202R066G	MCCUDDEN PAMELA A	5647 BAINES HOLDING UNIT 162	R-3
186202R151.	HALL KATHY L	5636 BAINES HOLDING UNIT 151	R-3
186202R152.	GATCH WILLIAM P	5634 BAINES HOLDING	R-3
186202R153.	HERMANN SZUZA & HERMANN TAMAS	5632 BAINES HOLDING	R-3
186202R154.	DUNN KATELYN A	5631 BAINES HOLDING	R-3
186202R155.	CANTERBURY DAVID M & CAROL J	5633 BAINES HOLDING	R-3
186202R156.	HUFFMAN JOHN C	5635 BAINES HOLDING	R-3
186202R157.	IMBUS ENTERPRISES LTD PARTNERSHIP	5901 MONTCLAIR BLVD STE B	R-3
186202R158.	BROWN TIMOTHY R	5639 BAINES HOLDING #158	R-3
186202R159.	LEWIS LANA	5641 BAINES HOLDING	R-3
186202R160.	WHITAKER JUDITH A	5643 BAINES HOLDING	R-3
186202R161.	JONES GERRI	5645 BAINES HOLDING #161	R-3
186202R162.	MCCUDDEN PAMELA A	5647 BAINES HOLDING UNIT 162	R-3
186202S055G	DOPP DOUGLAS ALLEN & VIRGINIA MAE	5648 BAINES HOLDING UNIT 97	R-3
186202S056G	BIXBY KELLY A	5646 BAINES HOLDING	R-3
186202S057G	CHURCH JOSHUA C	5640 BAINES HOLDING #149	R-3
186202S058G	DARGIS RAINEL &	5638 BAINES HOLDING	R-3
186202S0597.	DOPP DOUGLAS ALLEN & VIRGINIA MAE	5648 BAINES HOLDING UNIT 97	R-3
186202S0598.	BIXBY KELLY A	5646 BAINES HOLDING	R-3
186202S0599.	MAY SEAN	5644 BAINES HOLDING	R-3
186202S100.	BUTLER TERESA L	5642 BAINES HOLDING	R-3
186202S149.	CHURCH JOSHUA C	5640 BAINES HOLDING #149	R-3
186202S150.	DARGIS RAINEL &	5638 BAINES HOLDING	R-3
186202N075.	BOWMAN DARRYL E &	20224 N DENZEN DR	R-3
186202N076.	BOWMAN DARRYL E &	20224 N DENZEN DR	R-3
186202N077.	COOKS GRANT CONDO	NO VALUE	R-3
186202E00CA	COOKS GRANT CONDO	NO VALUE	R-3
186202J00CA	COOKS GRANT CONDO	NO VALUE	R-3
186202Q0CA2	COOKS GRANT CONDO	NO VALUE	R-3
186202R00CA	COOKS GRANT CONDO	NO VALUE	R-3
186202S00CA	COOKS GRANT CONDO	NO VALUE	R-3
186601.00CA	VILLAGE OF WOODCREEK	NO VALUE	R-PUD

LEGEND	
PROJECT INFORMATION	
1.	PROJECT NAME: NEW CLUBHOUSE AT COOK'S CROSSING APARTMENTS
2.	PROPERTY OWNER: CS COOKS CROSSING LLC CONTACT: MR. DAN HOVE 1525 KAUTZ RD., SUITE 100 WEST CHICAGO, IL 60185
3.	PIN: 182516C198
4.	ZONING: R-PUD - EXISTING, NO CHANGE
5.	DESIGN TEAM: NEWMAN ARCHITECTURE CONTACT: MS. ELIZABETH MOWRY 1730 PARK ST., SUITE 115 NAPERVILLE, IL 60563 (630) 420-1600 KIMLEY-HORN AND ASSOCIATES, INC. CONTACT: MR. BENJAMIN SIEMBIDA 2400 CORPORATE EXCHANGE DR., SUITE 120 COLUMBUS, OH 43231 (614) 472-6553
SITE CONDITIONS	
1.	EXISTING PROPERTY AREA: 16.37 ACRES
2.	MINIMUM SETBACKS: FRONT YARD: 30' - CONFORMS SIDE YARD: 10' - CONFORMS REAR YARD: 35' - CONFORMS DISTANCE BETWEEN RESIDENTIAL BUILDINGS: 15' MIN. - CONFORMS
3.	FLOOR AREA: TOTAL EXISTING FLOOR AREA (11 BUILDINGS @ ±3,218 SF): ±35,398 SF PROPOSED CLUBHOUSE AREA: ±3,090 SF (CLUBHOUSE) + ±576 SF (GARAGE) = ±3,666 SF TOTAL FLOOR AREA: ±39,064 SF
4.	BUILDING HEIGHT: MAXIMUM ALLOWED: 3-STORIES, 45' TALL PROPOSED: 1-STORY, ±23'-5" TALL
5.	WOODLAND AREAS: NO MORE THAN 30% CLEARING ALLOWED EXISTING COVERAGE: 8.25 ACRES PROPOSED CLEARANCE: 0.56 ACRES TOTAL CHANGE: APPROXIMATELY 7% REDUCTION
6.	RECREATIONAL / COMMON OPEN SPACE AREAS: TOTAL ACREAGE OF PROPERTY: 16.37 ACRES TOTAL ACREAGE OF EXISTING AND NEW BUILDINGS: ±0.9 ACRES WOODLAND AREA: 7.69 ACRES PATIO AND POOL: 0.09 ACRES (±4,040 SF) CLUBHOUSE RECREATION SPACE: ±1,450 SF FUTURE PLAYGROUND: AREA TO BE DETERMINED
7.	DEDICATED PARKING SPACES: EXISTING: CHAPTER 23 - OFF-STREET PARKING, MULTI-FAMILY 2.50 SPACES / DWELLING UNIT 132 UNITS = 330 SPACES MIN. 291 STANDARD STALLS PROVIDED 6 ACCESSIBLE STALLS PROVIDED 297 TOTAL EXISTING STALLS PROVIDED PER E-MAIL 11/14/18 QUANTITY OF EXISTING SPACES SUFFICIENT (NARRATIVE EXHIBIT 4) PROPOSED: CHAPTER 23 - OFF-STREET PARKING, CLUBHOUSE 1.00 SPACE / 350 GROSS SF OF BUILDING 3,090 SF (CLUBHOUSE) / 350 SF = 9 SPACES MIN. 12 STANDARD STALLS PROPOSED 1 ACCESSIBLE STALL PROPOSED 13 TOTAL NEW STALLS PROPOSED 310 TOTAL STALLS PROPOSED ON SITE



newman architecture
1730 Park Street, Suite 115, Naperville, Illinois 60563-2611
(630) 420-1600 FAX (630) 420-1987 newmanarchitecture.com

PROJECT NAME:

SCHEMATIC DESIGN

NEW CLUBHOUSE AT COOK'S CROSSING APARTMENTS

FOR
ZINGER PROPERTY GROUP
1030 COOKS CROSSING DRIVE
MILFORD, OHIO 45150

ARCHITECT'S CERTIFICATION:



LICENSE: Ohio Registration No. 0012571

EXPIRES: 11/30/21

Charles R. Newman
Signature

2020/01/16
Date

Issue / Revision:

No. Date Description
-- 2020/01/16 Issued For Zoning Review

DRAWING TITLE:

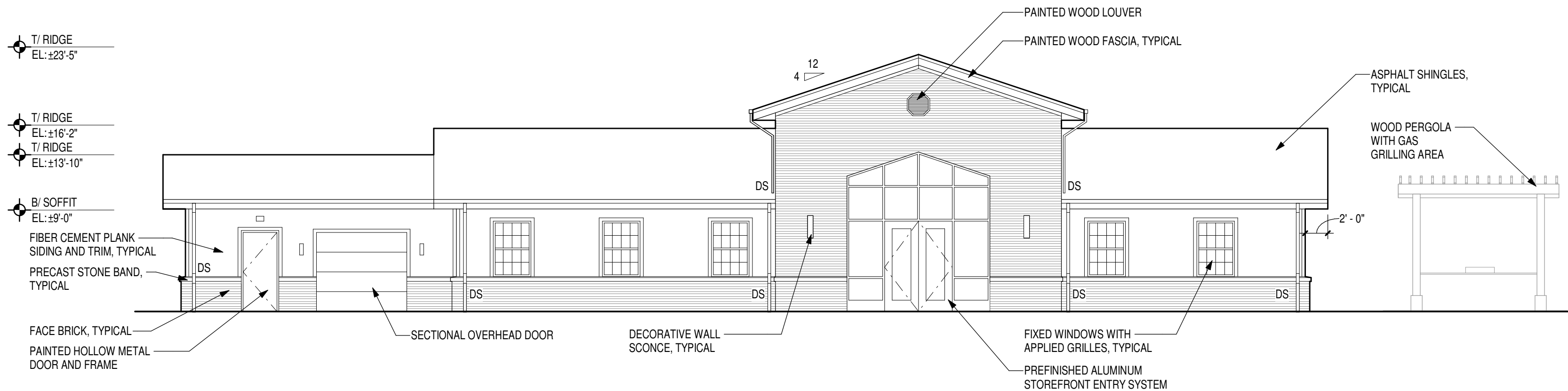
ZONING PLAN

PROJECT NO.: 19026

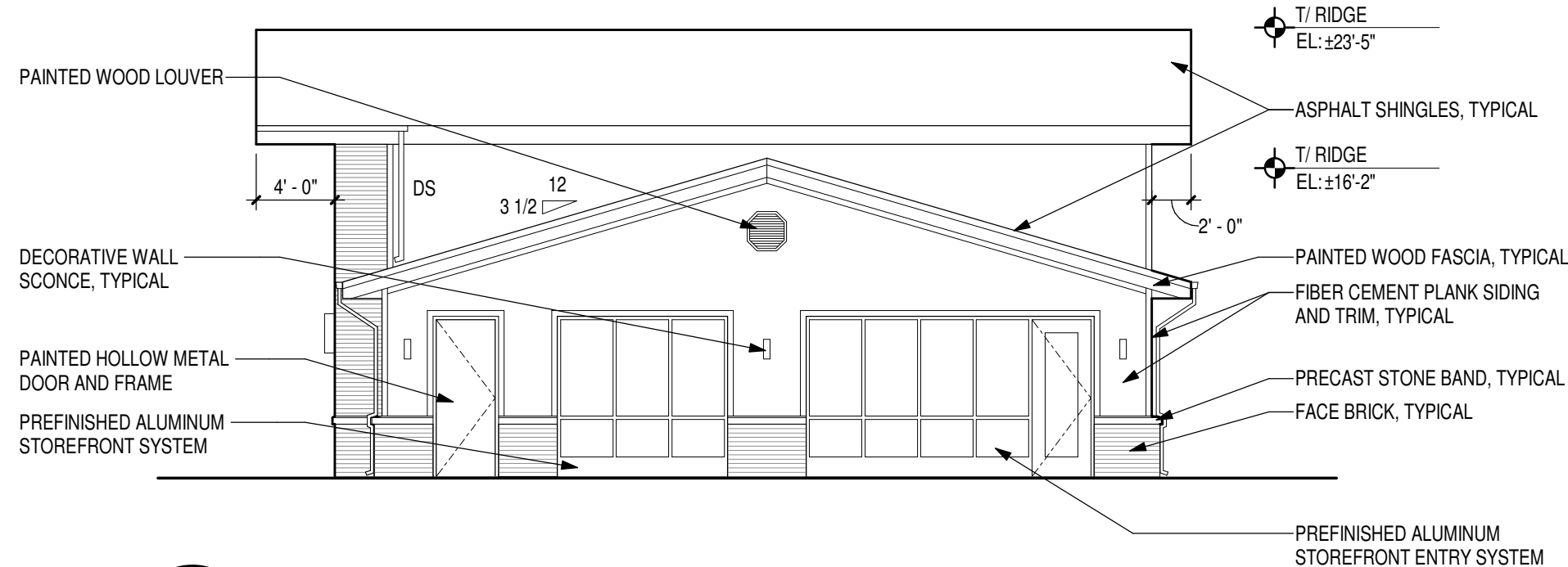
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A-1

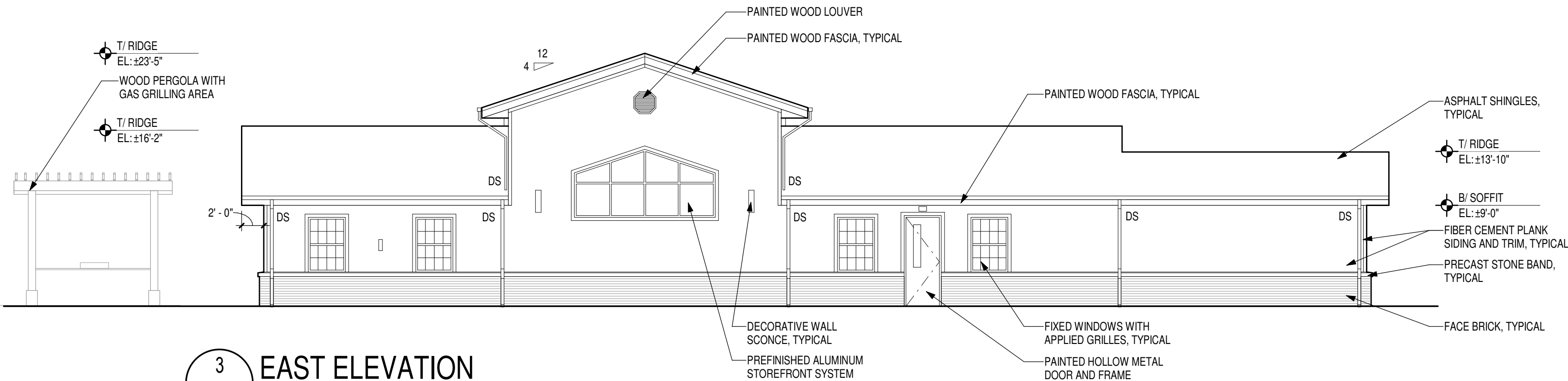
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COPYRIGHT 2019 NEWMAN ARCHITECTURE, INC. 18026 - ZINGER PROPERTY GROUP - NEW CLUBHOUSE AT COOKS CROSSING APARTMENTS - A-2: PARTIAL SITE PLAN AND ELEVATIONS
1/16/2020 2:23:49 PM



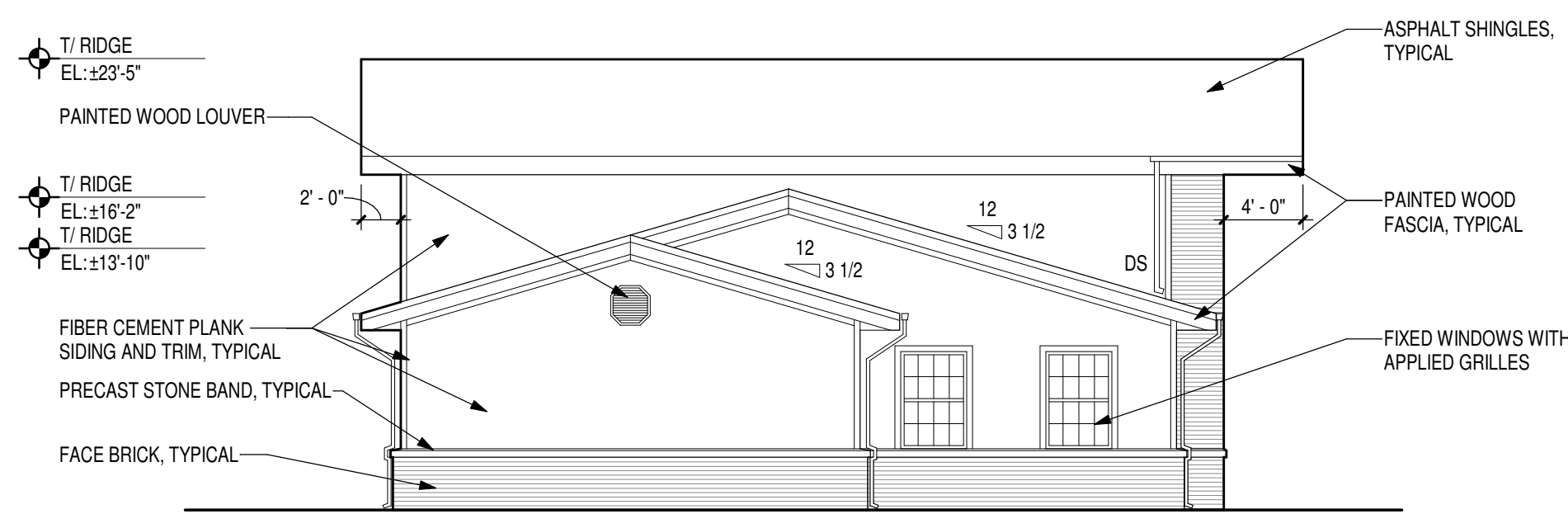
1 WEST ELEVATION
A-2 SCALE: 1/8" = 1'-0"



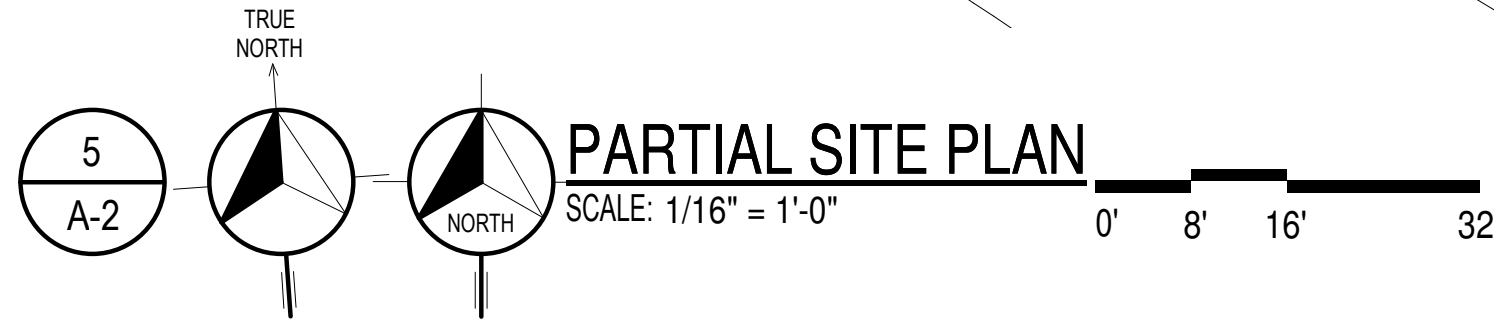
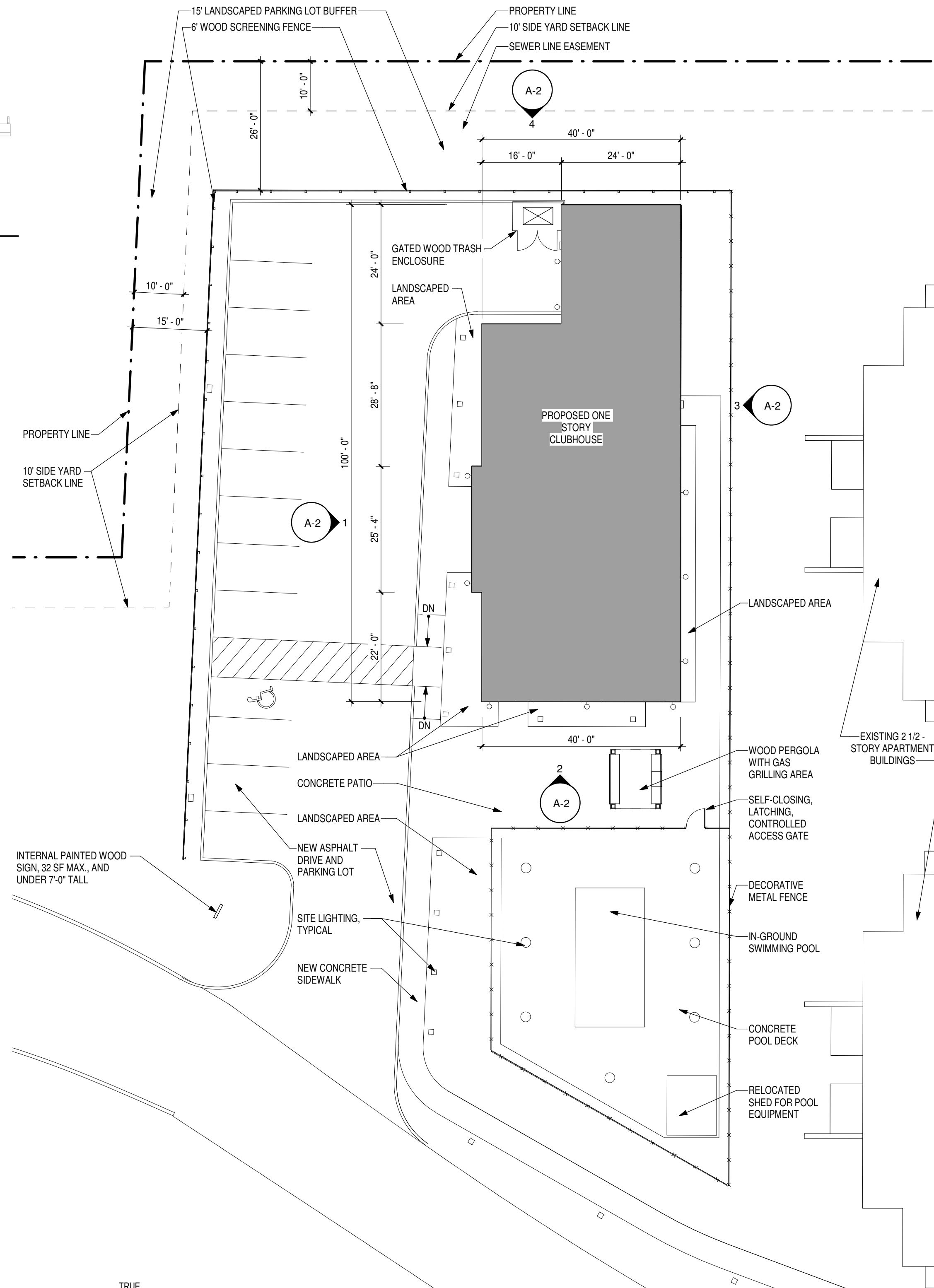
2 SOUTH ELEVATION
A-2 SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
A-2 SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION
A-2 SCALE: 1/8" = 1'-0"



PARTIAL SITE PLAN
SCALE: 1/16" = 1'-0"

LIGHTING SCHEDULE

- IN-GROUND LED LIGHTING
- ♀ DECORATIVE LED WALL SCONCE
- LED LIGHT BOLLARD
- ≡ LED WALL PACK
- LED PARKING LOT LIGHTING



newman architecture
1730 Park Street, Suite 115, Naperville, Illinois 60563-2611
(630) 420-1600 FAX (630) 420-1987 newmanarchitecture.com

PROJECT NAME:

SCHEMATIC DESIGN

NEW CLUBHOUSE

AT

**COOK'S CROSSING
APARTMENTS**

FOR
ZINGER PROPERTY GROUP
1030 COOKS CROSSING DRIVE
MILFORD, OHIO 45150

ARCHITECT'S CERTIFICATION:



LICENSE: Ohio Registration No. 0012571

EXPIRES: 11/30/21

Charles R. Newman 2020/01/16
Signature Date

Issue / Revision:

No. Date Description
-- 2020/01/16 Issued For Zoning Review

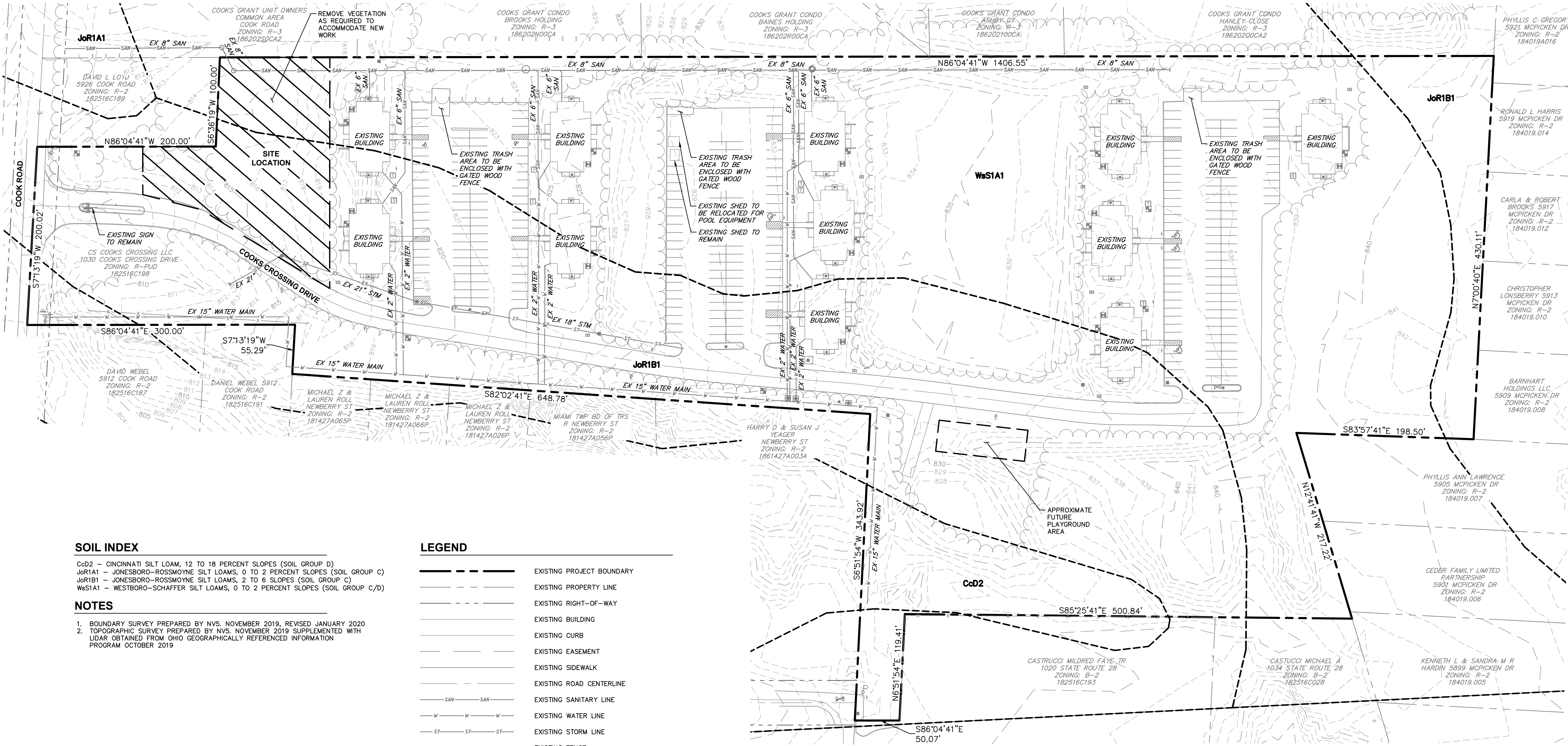
DRAWING TITLE:

**PARTIAL SITE PLAN AND
ELEVATIONS**

PROJECT NO.: 19026

DATE: 2020/01/16

A-2



SOIL INDEX

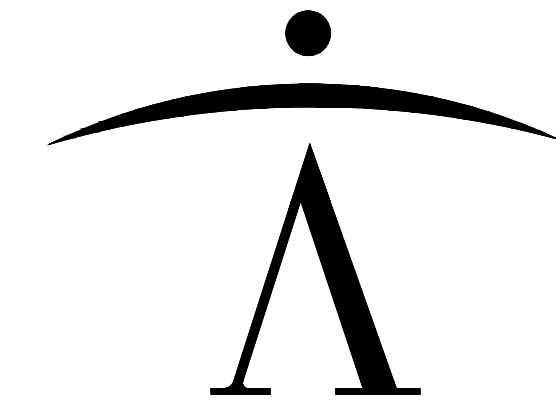
CoD2 - CINCINNATI SILT LOAM, 12 TO 18 PERCENT SLOPES (SOIL GROUP D)
JoR1A1 - JONESBORO-ROSSMOYNE SILT LOAMS, 0 TO 2 PERCENT SLOPES (SOIL GROUP C)
JoR1B1 - JONESBORO-ROSSMOYNE SILT LOAMS, 2 TO 6 SLOPES (SOIL GROUP C)
WaS1A1 - WESTBORO-SCHAFFER SILT LOAMS, 0 TO 2 PERCENT SLOPES (SOIL GROUP C/D)

NOTES

- BOUNDARY SURVEY PREPARED BY NV5, NOVEMBER 2019, REVISED JANUARY 2020
- TOPOGRAPHIC SURVEY PREPARED BY NV5, NOVEMBER 2019 SUPPLEMENTED WITH LIDAR OBTAINED FROM OHIO GEOGRAPHICALLY REFERENCED INFORMATION PROGRAM OCTOBER 2019

LEGEND

---	EXISTING PROJECT BOUNDARY
---	EXISTING PROPERTY LINE
---	EXISTING RIGHT-OF-WAY
---	EXISTING BUILDING
---	EXISTING CURB
---	EXISTING EASEMENT
---	EXISTING SIDEWALK
---	EXISTING ROAD CENTERLINE
---	EXISTING SANITARY LINE
---	EXISTING WATER LINE
---	EXISTING STORM LINE
---	EXISTING FENCE
---	EXISTING PAVEMENT
---	EXISTING SOIL BOUNDARY
---	EXISTING TREE LINE
---	EXISTING CATCH BASIN
---	EXISTING MANHOLE
---	EXISTING WATER VALVE
---	EXISTING POWER POLE
---	EXISTING LIGHT POLE
---	EXISTING SIGN
---	EXISTING CABLE BOX
---	EXISTING AIR CONDITIONER
---	EXISTING ELECTRIC METER
---	EXISTING HYDRANT
---	EXISTING POWER STRUCTURE



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Kimley»Horn

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2400 CORPORATE EXCHANGE DRIVE, SUITE 120
COLUMBUS, OH 43231
PHONE: 614-454-6697
WWW.KIMLEY-HORN.COM

PROJECT NAME:

SCHEMATIC DESIGN

NEW CLUBHOUSE

AT

COOK'S CROSSING
APARTMENTS

FOR

ZINGER PROPERTY GROUP
1030 COOKS CROSSING DRIVE
MILFORD, OHIO 45150

CERTIFICATION:



LICENSE: OHIO Registration No. E-82425

Signature: *Ben Siembida*

2020/01/16

Date

Issue / Revision:

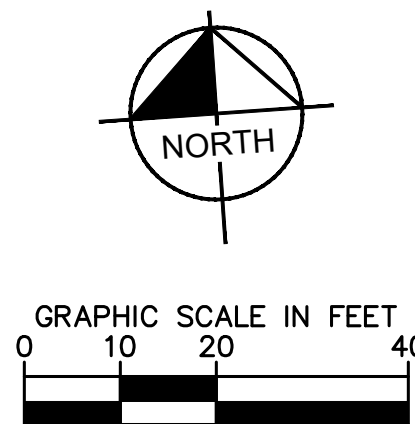
No.	Date	Description
--	2020/01/16	Issued For Zoning Review

DRAWING TITLE:

EXISTING CONDITIONS

PROJECT NO.: 19026

DATE: 2020/01/16



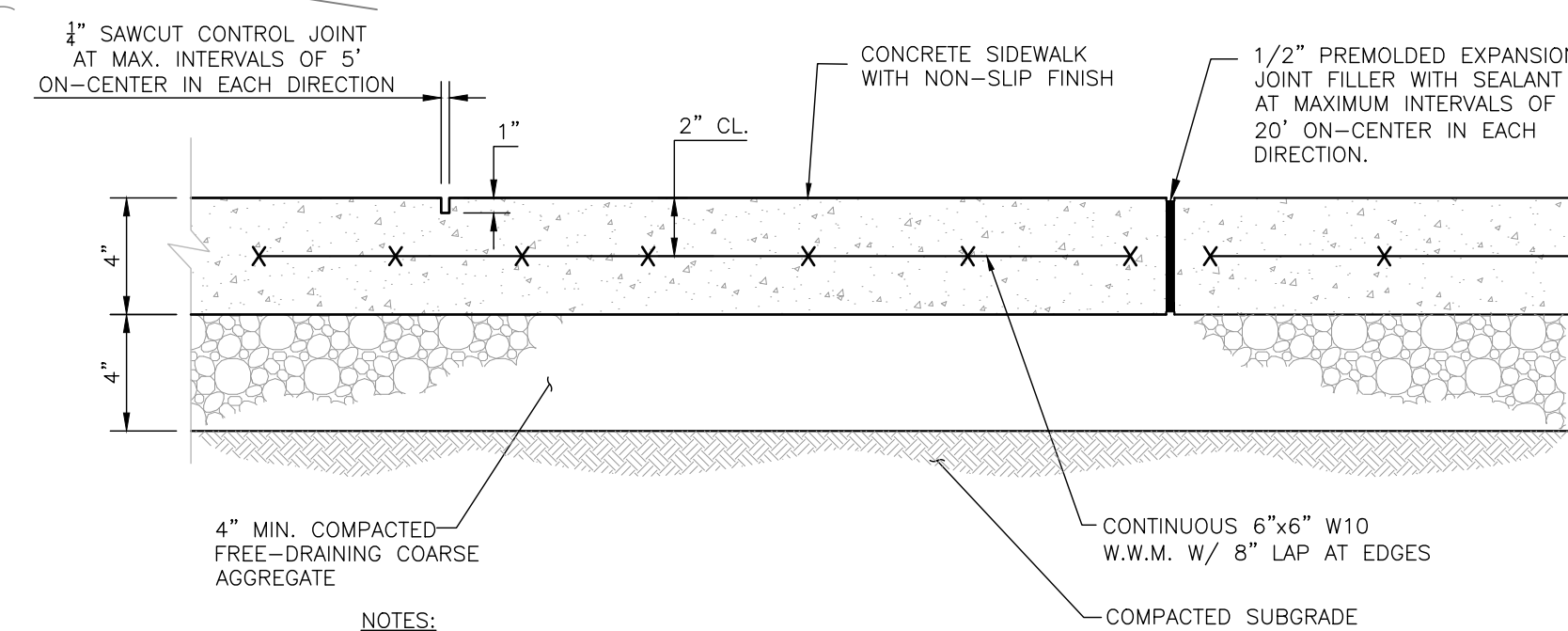
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STREET ADDRESS:	1030 COOKS CROSSING DRIVE, MILFORD, OH 45150
PARCEL ID:	182516C198
ZONING:	
GENERAL ZONING CATEGORY:	R-PUD RESIDENTIAL PLANNED UNIT DEVELOPMENT
<u>PROPOSED BUILDING DATA</u>	
USE:	RESIDENTIAL RECREATION
GROSS FLOOR AREA:	3,090 SQ.FT. CLUBHOUSE 576 SQ.FT. GARAGE
<u>BUILDING SETBACKS</u>	
REQUIRED FRONT YARD DEPTH:	20' (FROM COOK ROAD R/W)
<u>VEHICLE PARKING</u>	
MIN. REQUIRED PARKING:	1 SPACE : 350 SF OF CLUBHOUSE = 9 SPACES
PROPOSED SPACES	
PROPOSED PARKING:	13 SPACES
REQUIRED ADA PARKING:	1 SPACES (1 VAN)
PROPOSED ADA PARKING:	1 SPACES (1 VAN)
<u>WOODLAND AREA</u>	
PRE-DEVELOPED WOODLAND AREA	8.25 AC OF MATURE CANOPY WOODLAND
POST-DEVELOPED WOODLAND AREA	7.69 AC OF MATURE CANOPY WOODLAND
MATURE WOODLAND MAXIMUM CLEARANCE	30 PERCENT = 2.48 AC ALLOWED TO BE CLEARED
PROPOSED CLEARANCE:	0.56 AC
<u>SOILS</u>	
SOIL TYPES:	JcR1A1 JONESBORO-ROSSMOYNE SILT LOAMS, 2 TO 6
PERCENT SLOPES	JcR1B1 JONESBORO-ROSSMOYNE SILT LOAMS, 2 TO 6
PERCENT SLOPES	Ws1A1 WESTBORO-SCHAFFER SILT LOAMS, 0 TO 2
PERCENT SLOPES	

LEGEND

	EXISTING PROPERTY BOUNDARY
	EXISTING RIGHT-OF-WAY
	EXISTING BUILDING
	EXISTING CURB
	EXISTING EASEMENT
	EXISTING SIDEWALK
	EXISTING ROAD CENTERLINE
	EXISTING FENCE
	EXISTING PAVEMENT
	EXISTING SIGN
	PROPOSED SITE BOUNDARY
	PROPOSED PROPERTY SETBACK
	PROPOSED CURB
	PROPOSED ROAD CENTERLINE
	PROPOSED FENCE
	PROPOSED SIDEWALK
	PROPOSED BUILDING
	PROPOSED PAVEMENT
	PROP SIGN
	PROPOSED PARKING LOT LIGHT POLE
	PROPOSED SCIENCE
	PROPOSED SQUARE BOLLARD
	PROPOSED IN-GROUND
	PROPOSED WALL PACK

NOTES

INTERSECTION SIGHT DISTANCE BASED ON ODOT L&D MANUAL 25 MPH
DESIGN SPEED.

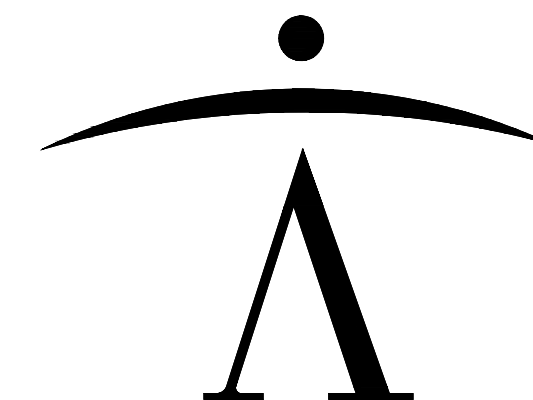


NOTES:

1. PROVIDE 1/2" EXPANSION JOINT FILLER WITH SEALANT WHERE THE CONCRETE SIDEWALK ABUTS THE BUILDING.
2. PROVIDE MEDIUM BROOM FINISH.
3. CONCRETE SHALL BE A MINIMUM OF 3,000 PSI AIR ENTRAINED CONCRETE UNLESS OTHERWISE NOTED.

CONCRETE SIDEWALK

NOT TO SCALE



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PROJECT NAME:

SCHEMATIC DESIGN

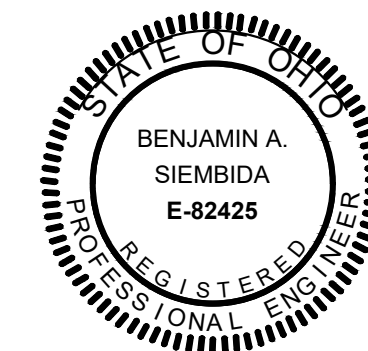
NEW CLUBHOUSE

AT

COOK'S CROSSING APARTMENTS

FOR
ZINGER PROPERTY GROUP
1030 COOKS CROSSING DRIVE
MILFORD, OHIO 45150

CERTIFICATION:



LICENSE: OHIO Registration No. E-82425

Ben Siddle 2020/01/16
Signature Date

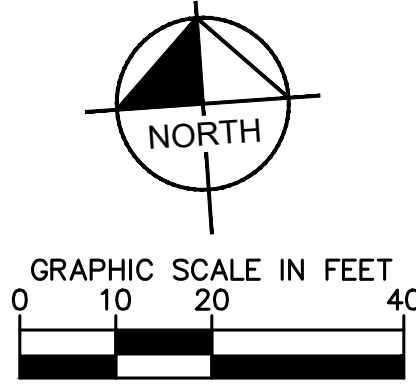
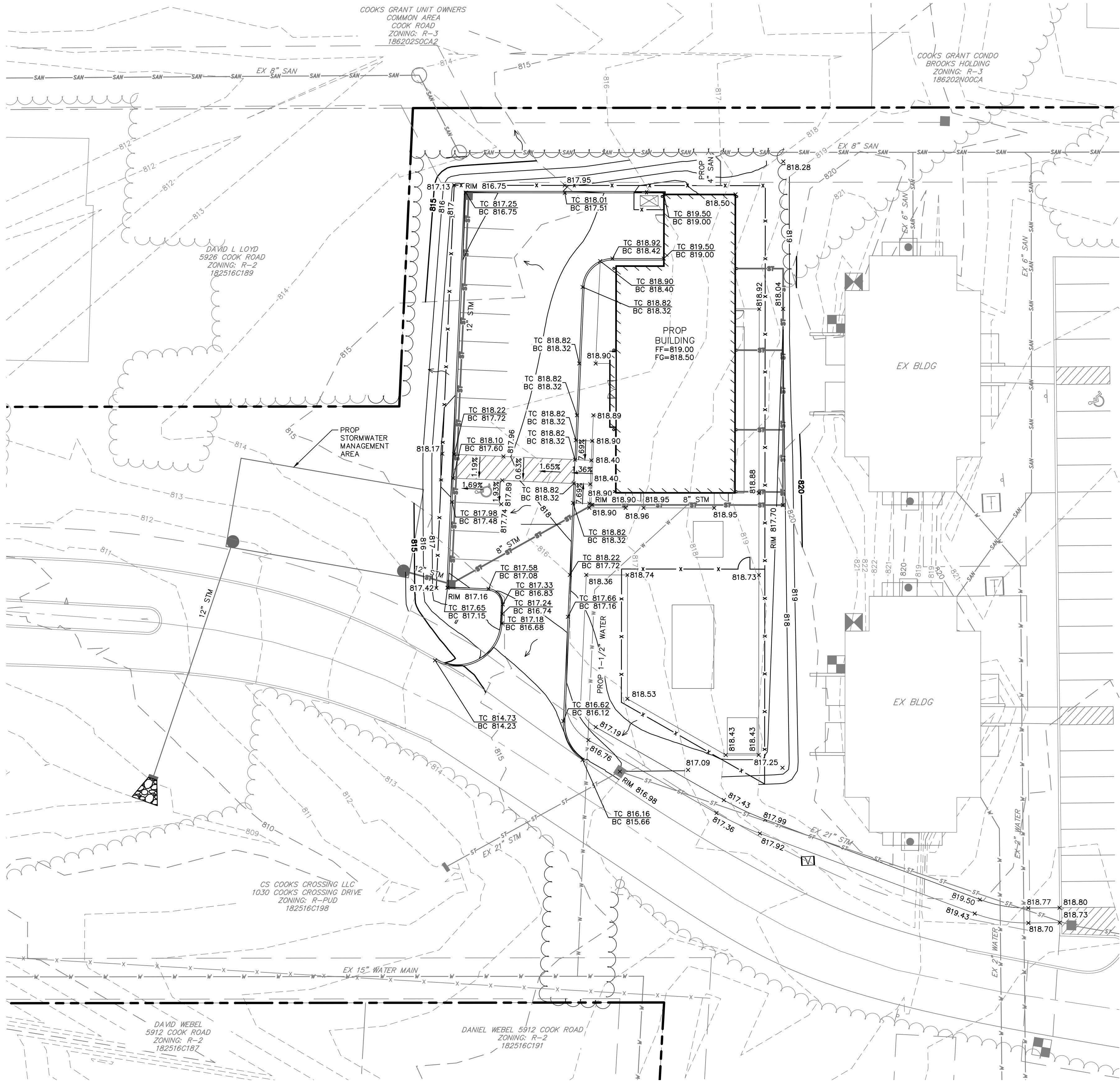
Issue / Revision:

No.	Date	Description
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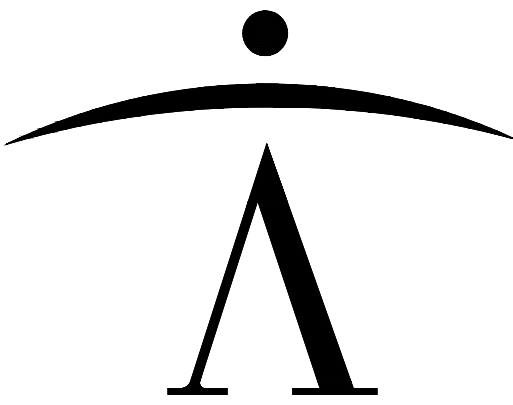
SITE PLAN

PROJECT NO.: 19026 DATE: 2020/01/16



LEGEND

	EXISTING RIGHT-OF-WAY
	EXISTING BUILDING
	EXISTING CURB
	EXISTING EASEMENT
	EXISTING SIDEWALK
	EXISTING ROAD CENTERLINE
	EXISTING SANITARY LINE
	EXISTING WATER LINE
	EXISTING STORM LINE
	EXISTING FENCE
	EXISTING PAVEMENT
	EXISTING CATCH BASIN
	EXISTING MANHOLE
	EXISTING WATER VALVE
	EXISTING POWER POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED SITE BOUNDARY
	PROPOSED CURB
	PROPOSED FENCE
	PROPOSED SIDEWALK
	PROPOSED BUILDING
	PROPOSED STORM LINE
	PROPOSED SANITARY LINE
	PROPOSED WATER LINE
	PROPOSED CATCH BASIN
	PROPOSED MANHOLE
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	TOP OF CURB ELEVATION
	BOTTOM OF CURB ELEVATION



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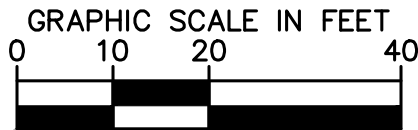
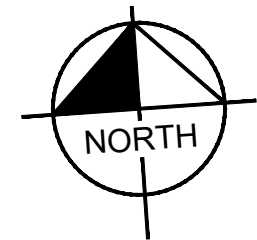
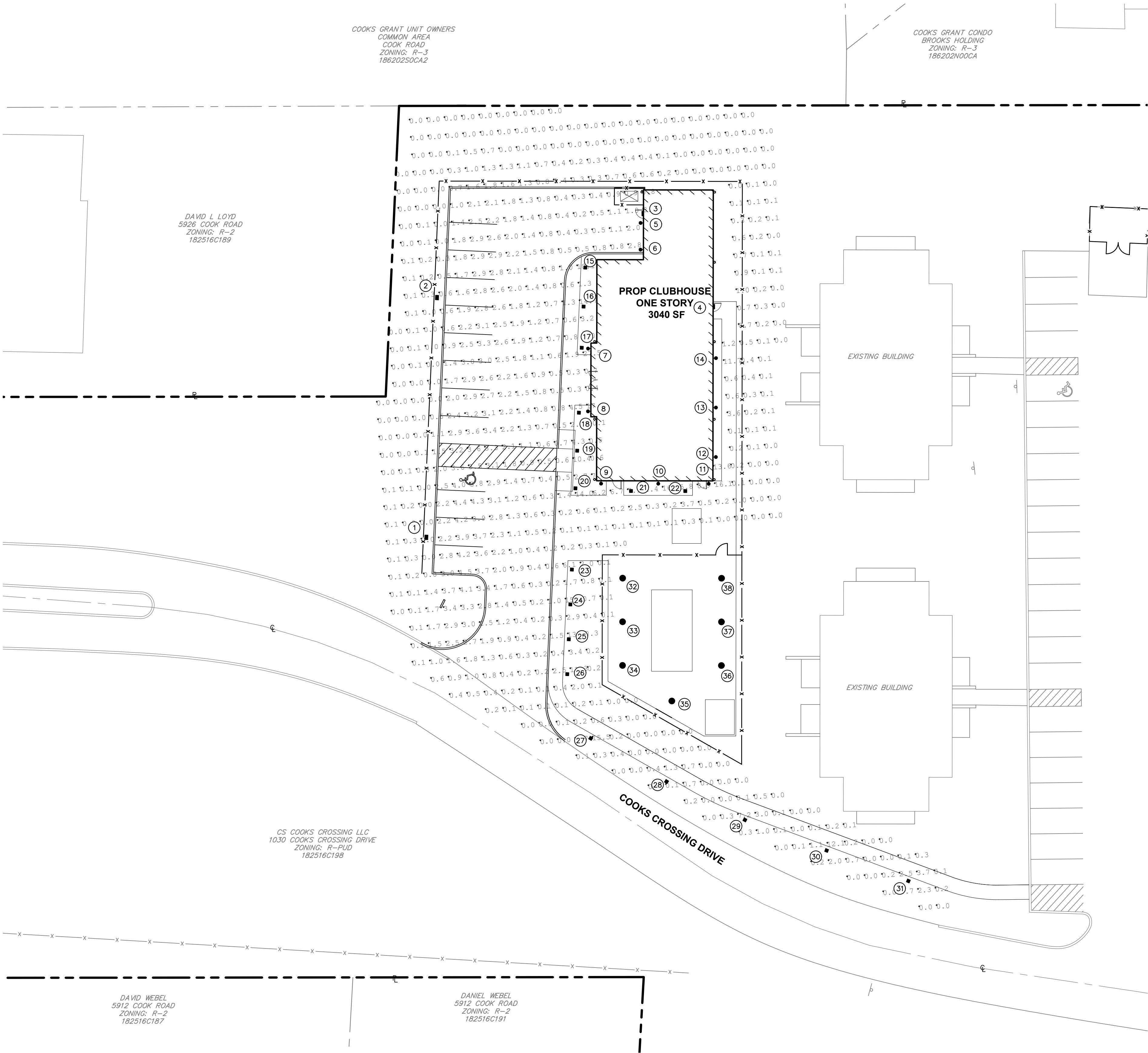
DRAWING TITLE:

GRADING PLAN

PROJECT NO.: 19026

DATE: 2020/01/16

D:\REVIT\LOCAL FILES\ZINGER - Cooks Crossing Clubhouse - SD_Randy Wynn
COPYRIGHT 2019 NEWMAN ARCHITECTURE\B0206 - ZINGER PROPERTY GROUP - NEW CLUBHOUSE AT COOK'S CROSSING APARTMENTS - ... DRAWING
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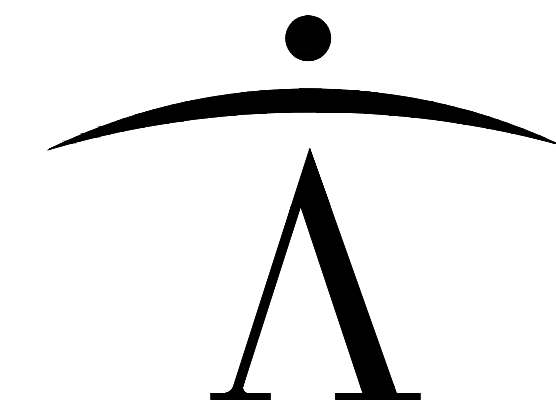


STATISTICS					
	LUMINANCE	UNIFORMITY			
DESCRIPTION	AVG	MAX	MIN	MAX/MIN	AVG/MIN
OVERALL SITE	1.76	27.5	0.1	275	17.6
PARKING LOT	1.67	4.5	0.1	45	16.7

LUMINAIRE SCHEDULE				
NUMBER	MOUNTING HEIGHT	LUMENS	WATTS	DESCRIPTION
1-2	18 FEET	12000	100	RAR1-160L-100-4K7-3-BC-UNV
3	10 FEET	833	13	LNC-5L-U-3K-3
4	10 FEET	883	13	LNC-5L-U-3K-2
5-12	8 FEET	2100	29	LEDWALL-A
13-14	12 FEET	2100	29	LEDWALL-A
15-31	3 FEET	635	24	FN1-12L-U-3K
33-38	0 FEET	410	6	UHA-60295-6W-W30-120/277V

LEGEND

- EXISTING PROJECT BOUNDARY LINE
- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- PROPOSED CURB
- PROPOSED BUILDING
- PROPOSED PARKING LOT LIGHT POLE
- PROPOSED SCENCE
- PROPOSED SQUARE BOLLARD
- PROPOSED IN-GROUND
- PROPOSED WALL PACK



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LICENSE: OHIO Registration No. E-82425

Signature: *Ben Siembida*

Date: 2020/01/16

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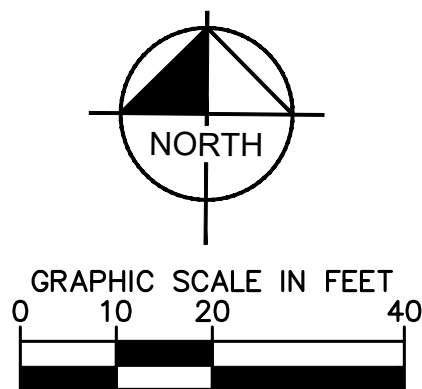
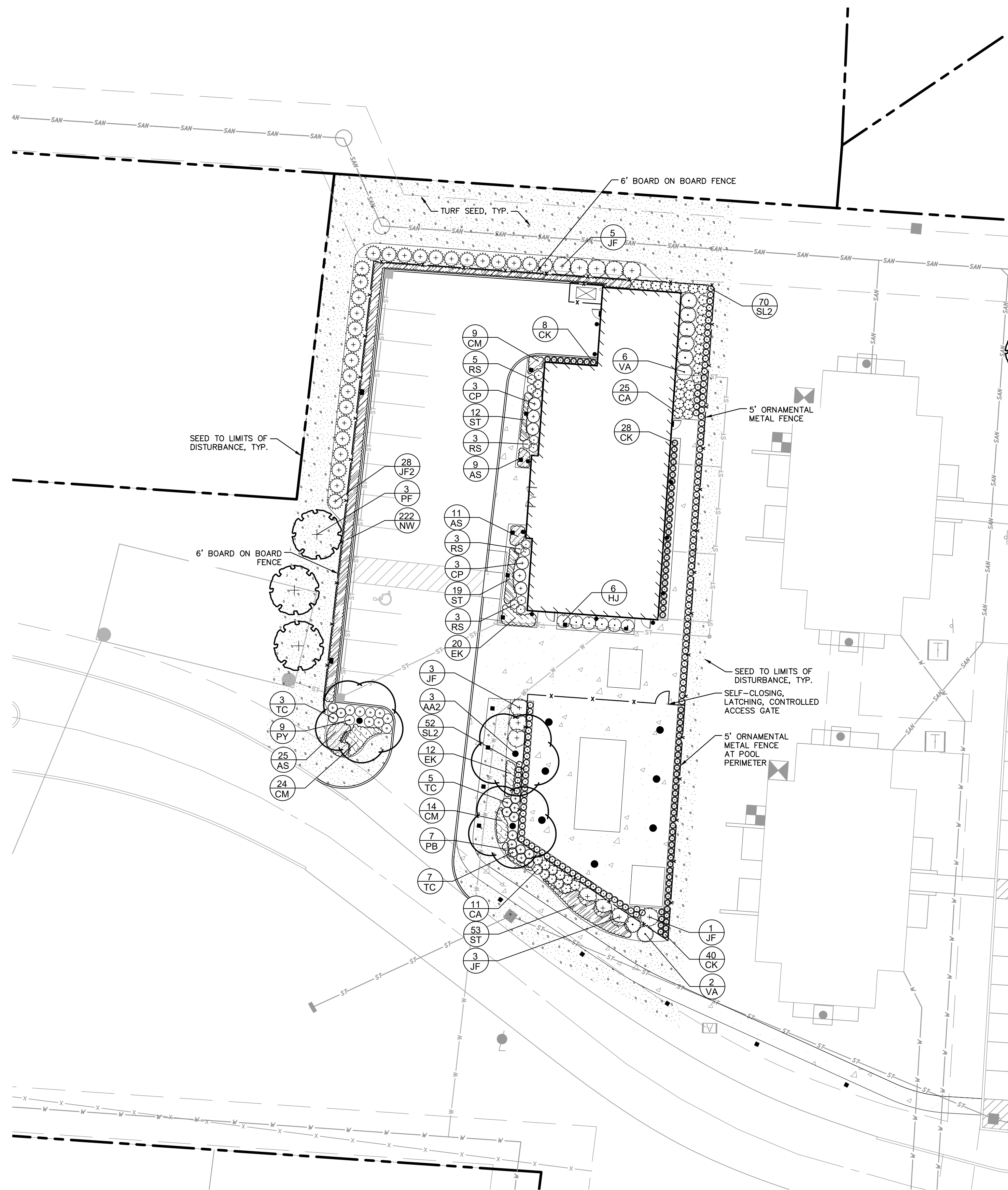
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













LIGHTING PLAN

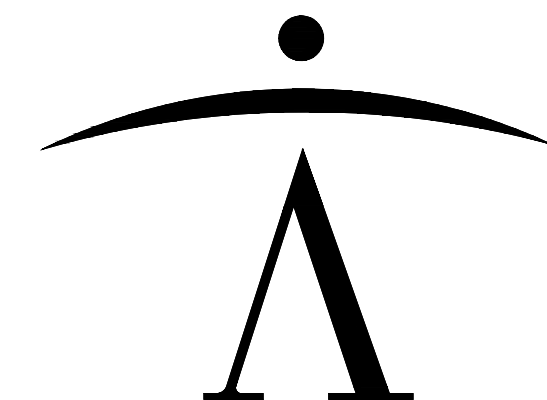
PROJECT NO.: 19026

DATE: 2020/01/16



PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	AA2	3	ACER FREEMANII 'AUTUMN BLAZE' / AUTUMN BLAZE MAPLE	B & B	2.5" DBH MIN	
	PF	3	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' / VANDERWOLF'S PYRAMID PINE	B & B		6' HT MIN
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	CA	36	CORNUS SANGUINEA 'CATO' TM / ARCTIC SUN DOGWOOD	3 GAL	SEE PLAN	24" HT MIN
	CP	6	CHAMAECYPARIS PISIFERA 'BOULEVARD' / DWARF BLUE CYPRESS	3 GAL	SEE PLAN	36" HT MIN
	HJ	6	HYDRANGEA PANICULATA 'JANE' / LITTLE LIME HYDRANGEA	3 GAL	SEE PLAN	24" HT MIN
	JF	12	JUNIPERUS CHINENSIS 'FAIRVIEW' / FAIRVIEW JUNIPER	B & B	SEE PLAN	72" HT MIN
	JF2	28	JUNIPERUS CHINENSIS 'SEA GREEN' / SEA GREEN JUNIPER	3 GAL	SEE PLAN	24" SPREAD
	PY	9	POTENTILLA FRUTICOSA 'YELLOW GEM' / YELLOW GEM POTENTILLA	3 GAL	SEE PLAN	24" HT MIN
	RS	14	ROSA X 'KNOCKOUT' TM / KNOCKOUT ROSE	3 GAL	SEE PLAN	24" HT MIN
	TC	15	THUJA OCCIDENTALIS 'CONGABE' TM / FIRE CHIEF ARBORVITAE	5 GAL	SEE PLAN	24" HT MIN
	VA	8	VIBURNUM DENTATUM 'CHRISTOM' / BLUE MUFFIN VIBURNUM	5 GAL	SEE PLAN	36" HT MIN
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	CK	76	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	24" OC	
	SL2	122	SCHIZACHYRIUM SCOPARIUM / LITTLE BLUESTEM GRASS	1 GAL	24" OC	
PERENNIALS AND GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	AS	45	ALLIUM X 'SUMMER BEAUTY' / SUMMER BEAUTY ALLIUM	1 GAL	18" OC	
	CM	47	COREOPSIS X 'MOONBEAM' / MOONBEAM COREOPSIS	1 GAL	18" OC	
	EK	32	ECHINACEA PURPUREA 'KIM'S KNEE HIGH' TM / PURPLE CONEFLOWER	1 GAL	18" OC	
	NW	222	NEPETA X FAASSENII 'WALKERS LOW' / WALKERS LOW CATMINT	1 GAL	18" OC	
	PB	7	PENNISETUM ALOPECUROIDES 'BURGUNDY BUNNY' / BURGUNDY BUNNY DWARF FOUNTAIN GRASS	1 GAL	18" OC	
	ST	84	SPOROBOLUS HETEROLEPIS 'TARA' / PRAIRIE DROPSEED	1 GAL	18" OC	
GROUND COVERS	BOTANICAL / COMMON NAME					
	TURF SEED					



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PROJECT NAME:

SCHEMATIC DESIGN

NEW CLUBHOUSE

A

COOK'S CROSSING APARTMENTS

FOR

ZINGER PROPERTY GROUP
1030 COOKS CROSSING DRIVE
MILFORD, OHIO 45150

CERTIFICATION:



Issue / Revision:

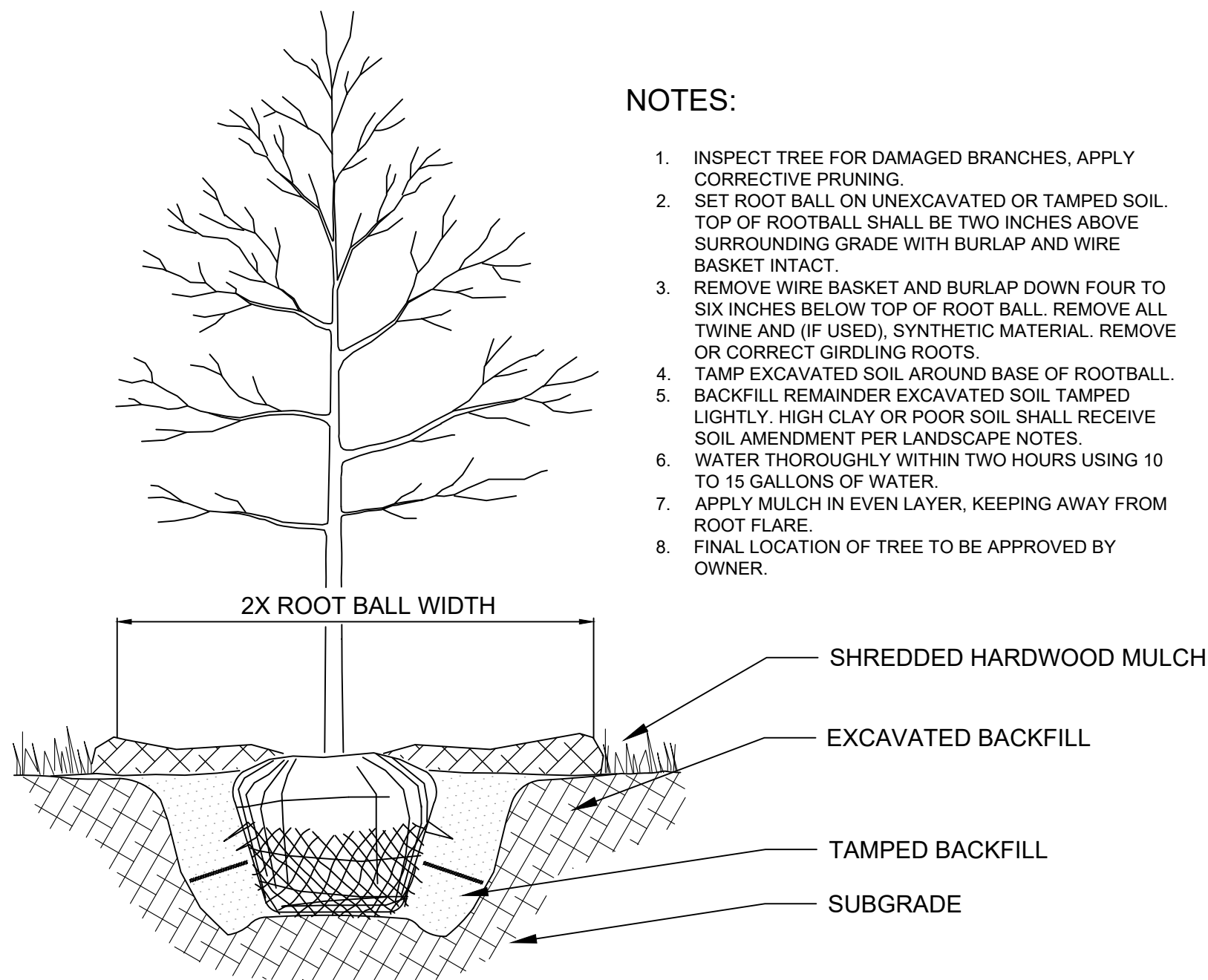
No.	Date	Description
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DRAWING TITLE:

LANDSCAPE PLAN

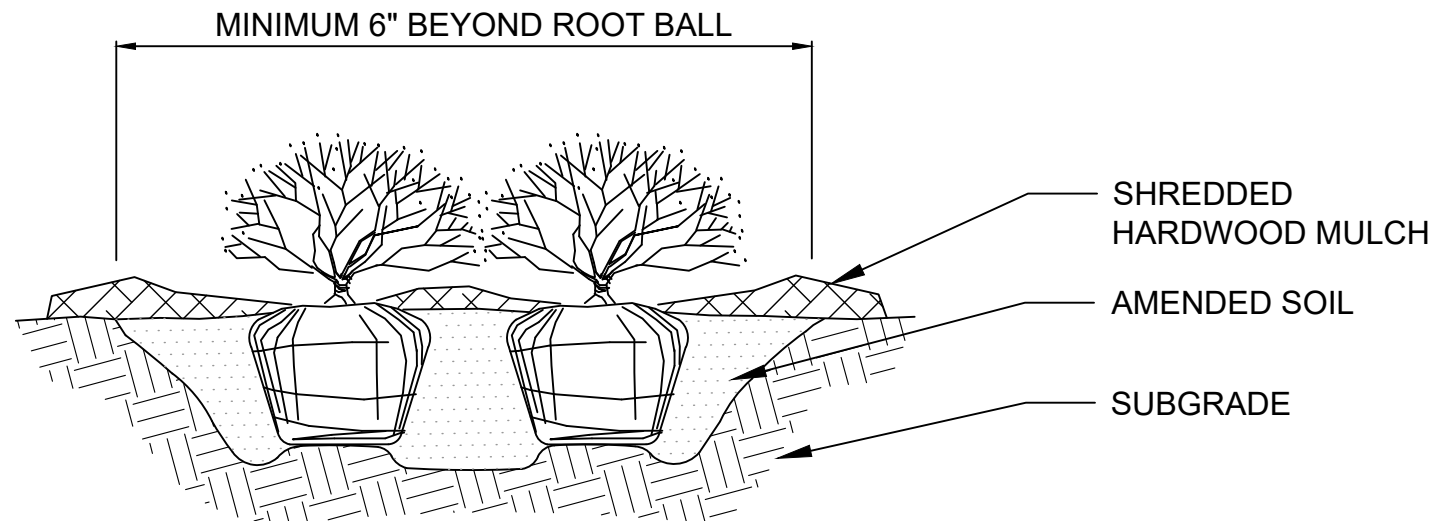
PROJECT NO.: 19026

DATE: 2020/01/18



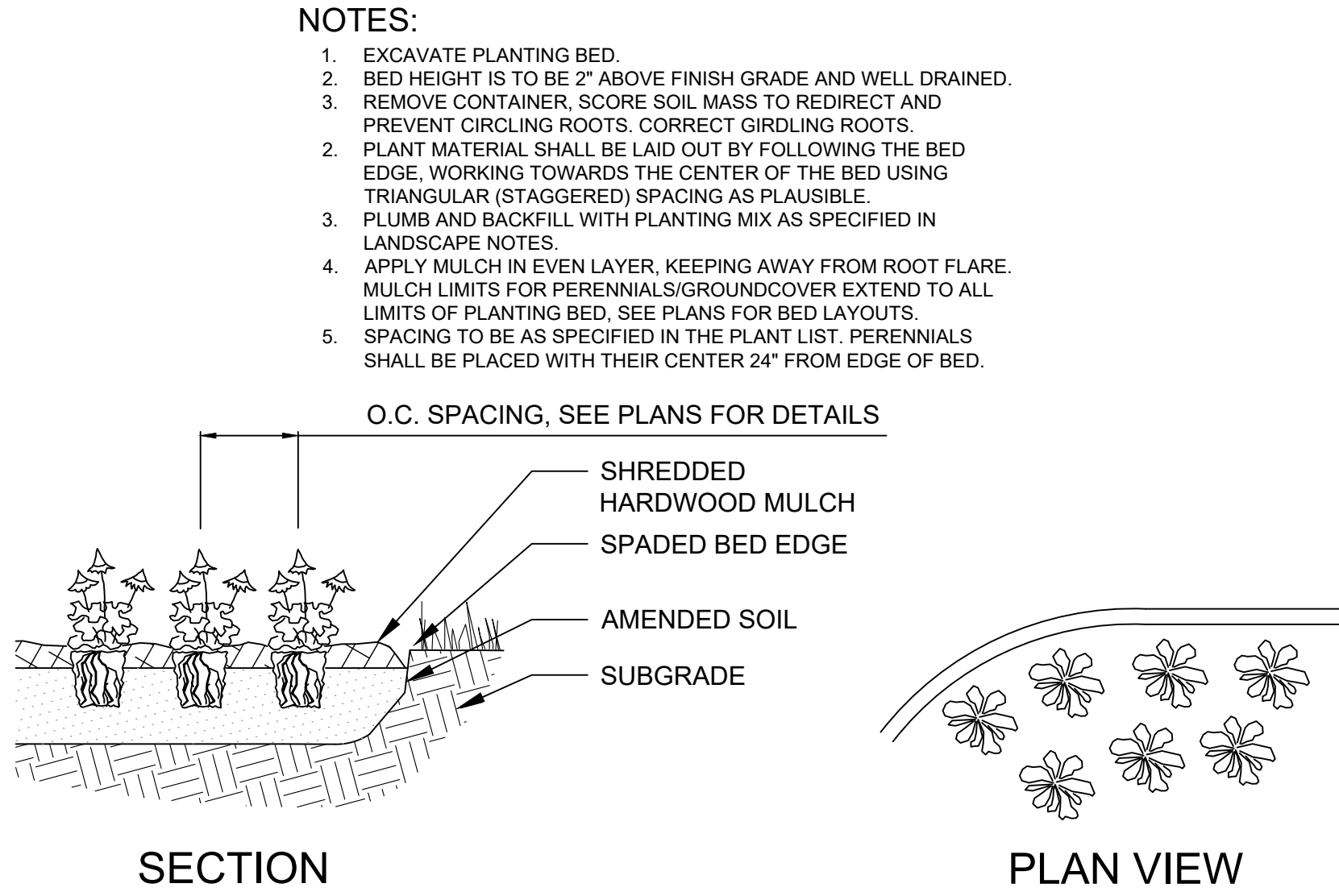
NOTES:

1. INSPECT TREE FOR DAMAGED BRANCHES, APPLY CORRECTIVE PRUNING.
2. SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL SHALL BE TWO INCHES ABOVE SURROUNDING GRADE WITH BURLAP AND WIRE BASKET INTACT.
3. REMOVE WIRE BASKET AND BURLAP DOWN FOUR TO SIX INCHES BELOW TOP OF ROOT BALL. REMOVE ALL TWINE AND (IF USED), SYNTHETIC MATERIAL. REMOVE OR CORRECT GIRDLING ROOTS.
4. TAMP EXCAVATED SOIL AROUND BASE OF ROOTBALL.
5. BACKFILL REMAINDER EXCAVATED SOIL. TAMPED LIGHTLY. HIGH CLAY OR POOR SOIL SHALL RECEIVE SOIL AMENDMENT PER LANDSCAPE NOTES.
6. WATER THOROUGHLY WITHIN TWO HOURS USING 10 TO 15 GALLONS OF WATER.
7. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE.
8. FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.



NOTES:

1. APPLY CORRECTIVE PRUNING.
2. SET ROOT BALL OR CONTAINER ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL (CONTAINER) SHALL BE ONE INCH ABOVE SURROUNDING GRADE. FOR LARGER SHRUBS WITHIN PLANTING BED DIG A DEEPER PIT ONLY FOR THOSE SHRUBS.
3. REMOVE BURLAP FROM TOP HALF THE LENGTH OF ROOTBALL. TWINE AND (IF USED) SYNTHETIC MATERIAL SHALL BE REMOVED FROM PLANTING BED. FOR CONTAINER GROWN SHRUBS, REMOVE CONTAINER AND LOOSEN ROOTS PRIOR TO INSTALLATION.
4. REMOVE OR CORRECT GIRDLING ROOTS.
5. PLUMB AND BACKFILL WITH AMENDED SOIL PER LANDSCAPE NOTES. WATER THOROUGHLY WITHIN TWO HOURS.
6. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR SHRUBS EXTEND TO ALL LIMITS OF PLANTING BED, SEE PLANS FOR BED LAYOUTS.

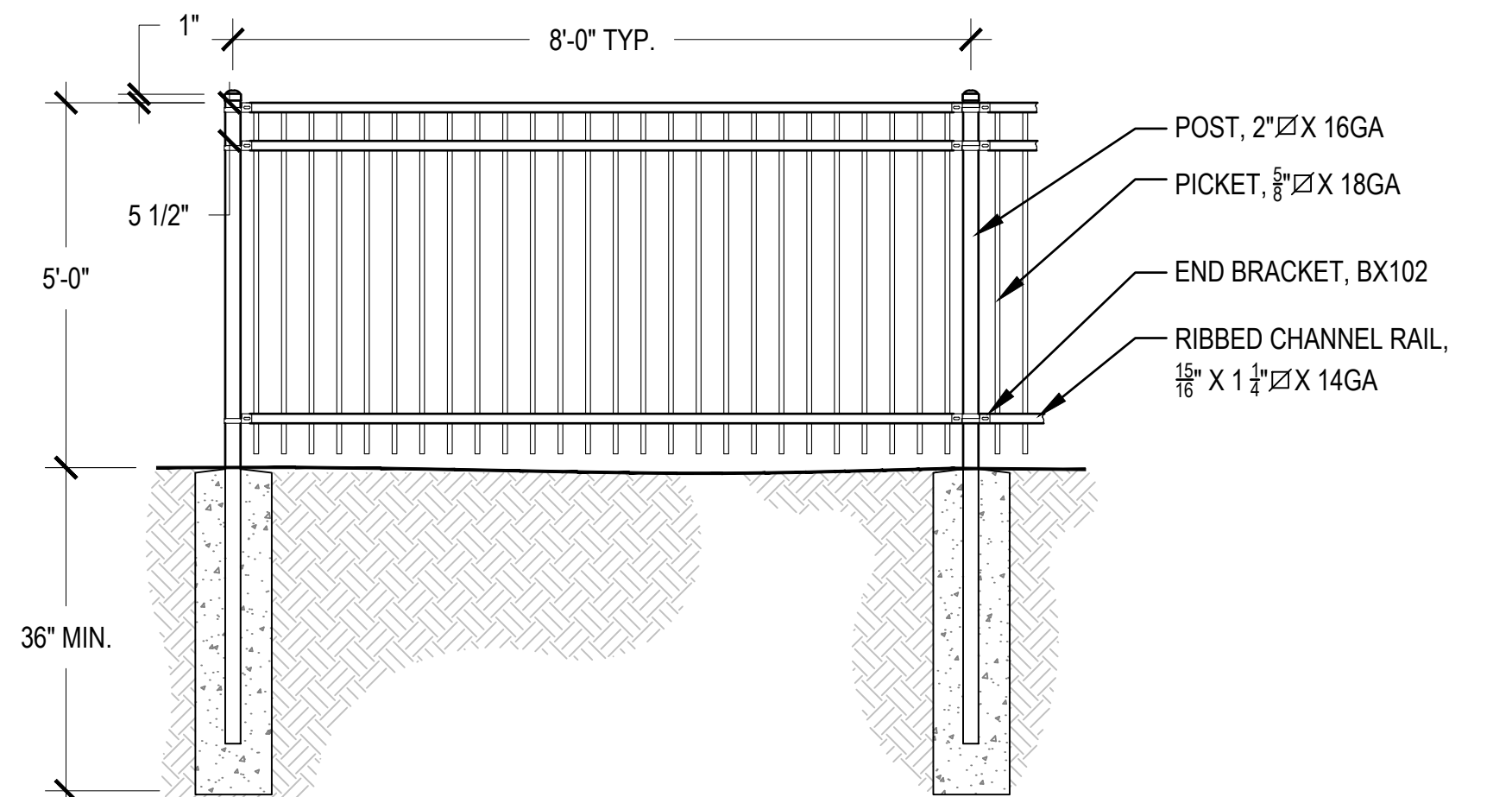


NOTES:

1. EXCAVATE PLANTING BED.
2. BED HEIGHT IS TO BE 2" ABOVE FINISH GRADE AND WELL DRAINED.
3. REMOVE CONTAINER, SCORE SOIL MASS TO REDIRECT AND PREVENT CIRCLING ROOTS. CORRECT GIRDLING ROOTS.
2. PLANT MATERIAL SHALL BE LAID OUT BY FOLLOWING THE BED EDGE, WORKING TOWARDS THE CENTER OF THE BED USING TRIANGULAR (STAGGERED) SPACING AS PLAUSIBLE.
3. PLUMB AND BACKFILL WITH PLANTING MIX AS SPECIFIED IN LANDSCAPE NOTES.
4. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR PERENNIALS/GROUNDCOVER EXTEND TO ALL LIMITS OF PLANTING BED. SEE PLANS FOR BED LAYOUTS.
5. SPACING TO BE AS SPECIFIED IN THE PLANT LIST. PERENNIALS SHALL BE PLACED WITH THEIR CENTER 24" FROM EDGE OF BED.

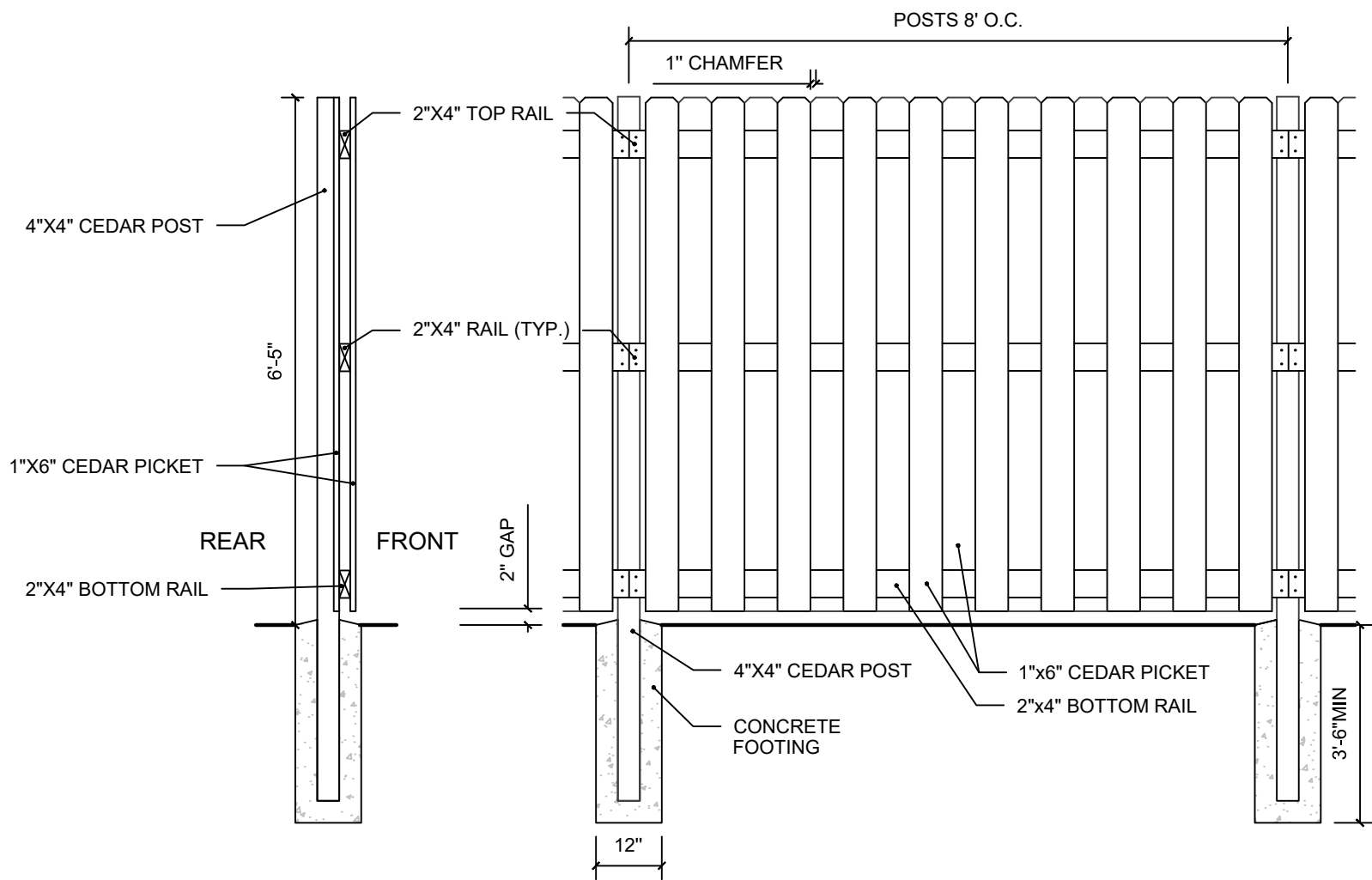
LANDSCAPE NOTES

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
2. THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
4. ALL NURSERY STOCK SHALL BE WELL BRANCHED, HEALTHY, FULL, PRE-INOCULATED AND FERTILIZED. DECIDUOUS TREES SHALL BE FREE OF FRESH SCARS. TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS A PART OF THIS CONTRACT.
5. ALL NURSERY STOCK SHALL BE GUARANTEED, BY THE CONTRACTOR, FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
6. AMENDED SOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO 6 INCHES BELOW FINISHED GRADE IN TURF AREAS AND 18 INCHES IN PLANTING AREAS.
7. PLANTING AREA SOIL SHALL BE AMENDED WITH 25% SPHAGNUM PEATMOSS, 5% HUMUS AND 65% PULVERIZED SOIL FOR ALL SHRUB, ORNAMENTAL GRASS, PERENNIAL AND ANNUAL BEDS. AMENDED TURF AREA SOIL SHALL BE STANDARD TOPSOIL.
8. SEED/SOD LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SEED/SOD ALL AREAS WHICH ARE DISTURBED BY GRADING WITH THE SPECIFIED SEED/SOD MIXES.
9. CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD MULCH AT A 3" DEPTH TO ALL TREES, SHRUB, PERENNIAL, AND GROUNDCOVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4 FT WIDE MAXIMUM TREE RING WITH 3" DEPTH SHREDDED HARDWOOD MULCH. A SPADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDED AREAS. A SPADED EDGE IS NOT REQUIRED ALONG CURBED EDGES.
10. INSTALLATION OF TREES WITHIN PARKWAYS SHALL BE COORDINATED IN THE FIELD WITH LOCATIONS OF UNDERGROUND UTILITIES. TREES SHALL NOT BE LOCATED CLOSER THAN 5' FROM UNDERGROUND UTILITY LINES AND NO CLOSER THAN 10' FROM UTILITY STRUCTURES.
11. DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
12. PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.
13. THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
14. THE CONTINUED MAINTENANCE OF ALL REQUIRED LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY ON WHICH SAID MATERIALS ARE REQUIRED. ALL PLANT MATERIALS REQUIRED BY THIS SECTION SHALL BE MAINTAINED AS LIVING VEGETATION AND SHALL BE PROMPTLY REPLACED IF THE PLANT MATERIAL HAS DIED PRIOR TO FINAL ACCEPTANCE. PLANTING AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES.



NOTES:

1. TYPICAL FENCE DETAIL. REFER TO MANUFACTURERS SPECIFICATIONS.
2. POST SIZE VARIES BY FENCE HEIGHT AND WIND LOAD.
3. CONCRETE FOOTING VARIES BASED ON LOCAL SOIL CONDITIONS.

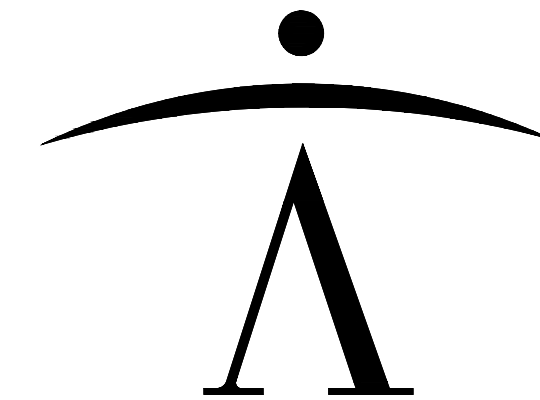


4 5' AMERISTAR MONTAGE ORNAMENTAL METAL FENCE

1" = 1'-0"

5 6' BOARD-ON-BOARD SCREEN FENCE

1/2" = 1'-0"



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DRAWING TITLE:

LANDSCAPE NOTES AND
DETAILS

PROJECT NO.: 19026

DATE: 2020/01/16